

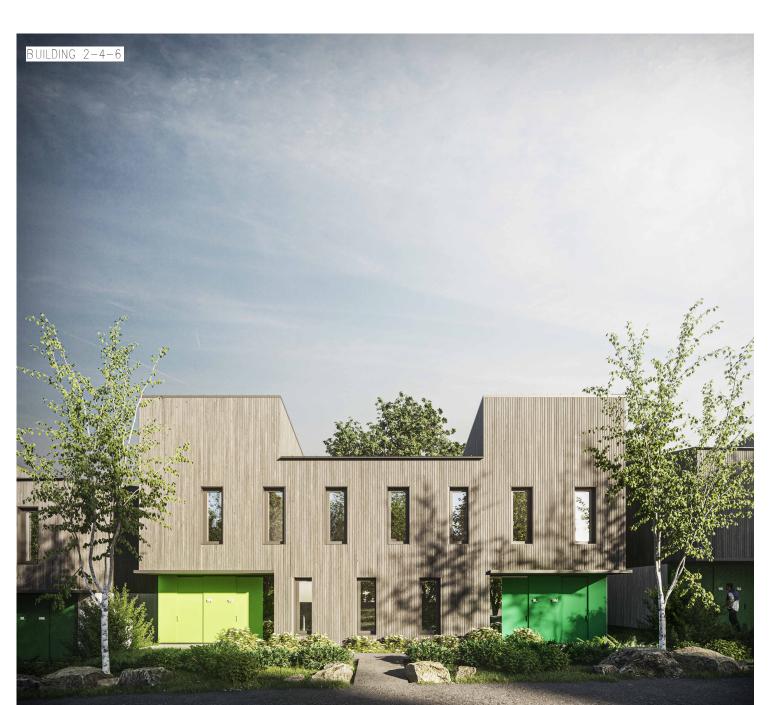
GULL RIVER HOUSING AFFORDABLE HOUSING ISSUED FOR TENDER ADDENDUM 25 MAR 27

DRAWING LIST

ARCHITECTURAL

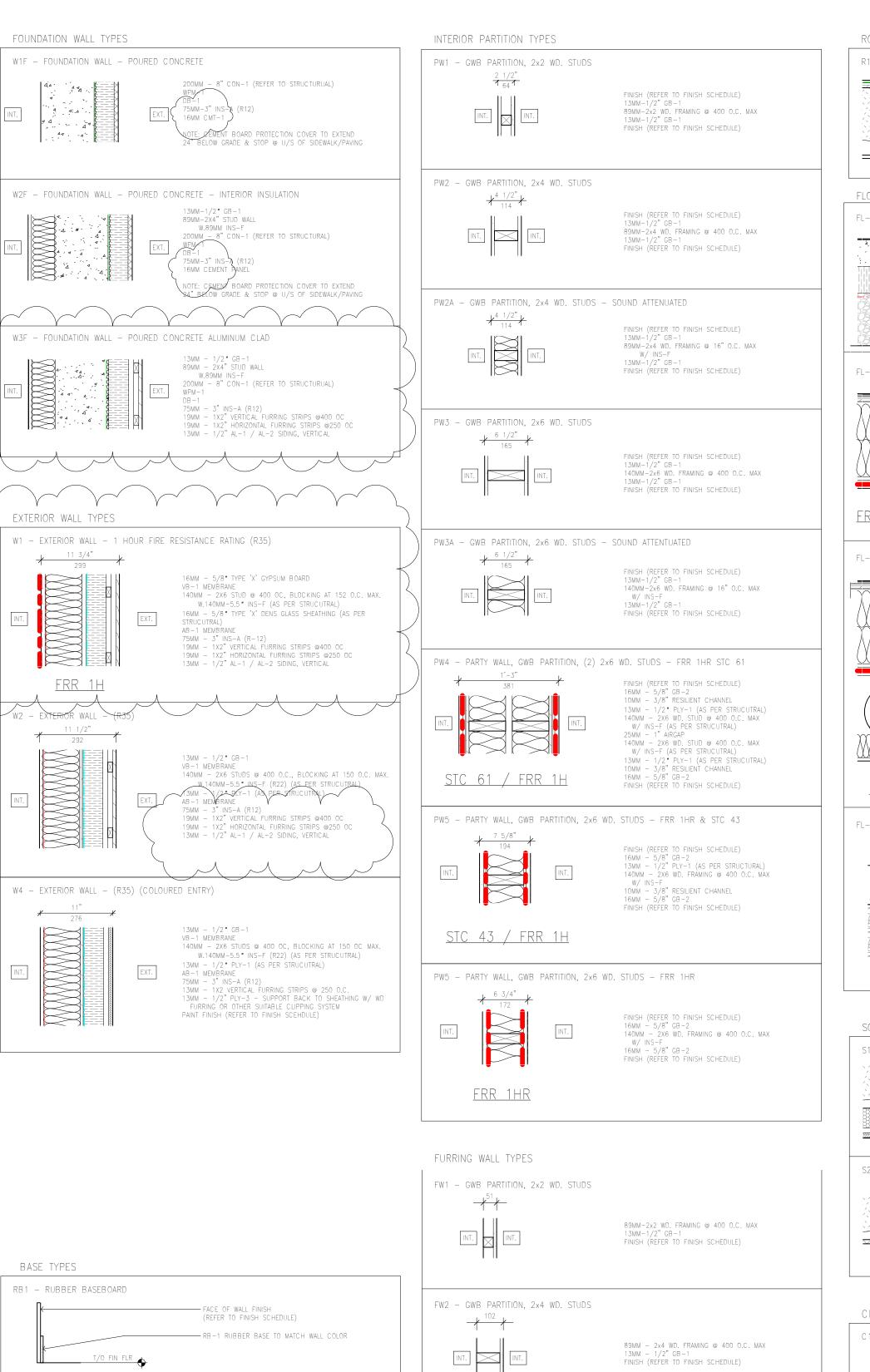
A000 COVER SHEET

A003 STANDARD ASSEMBLY TYPES
A301 TYP. ELEVATIONS BUILDINGS 1-3-5
A302 TYP. ELEVATIONS BUILDINGS 2-4-6





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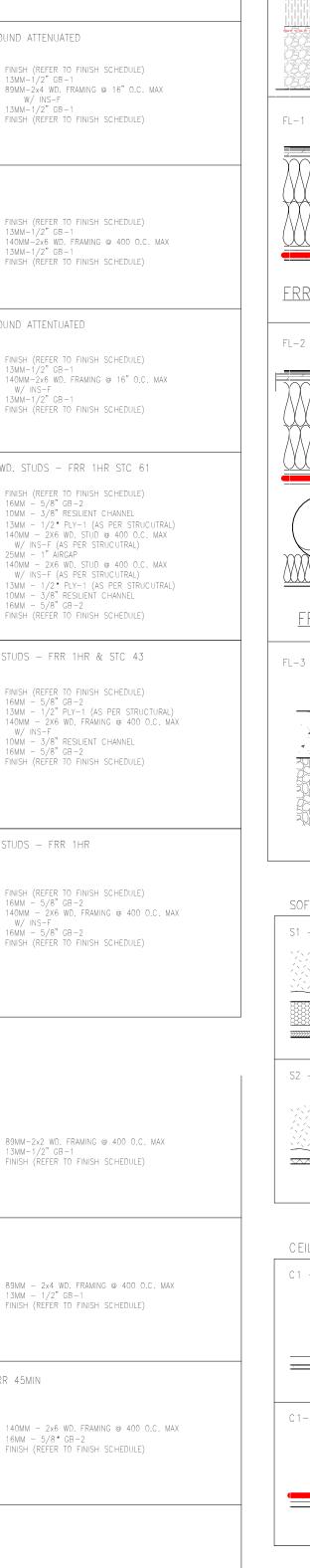


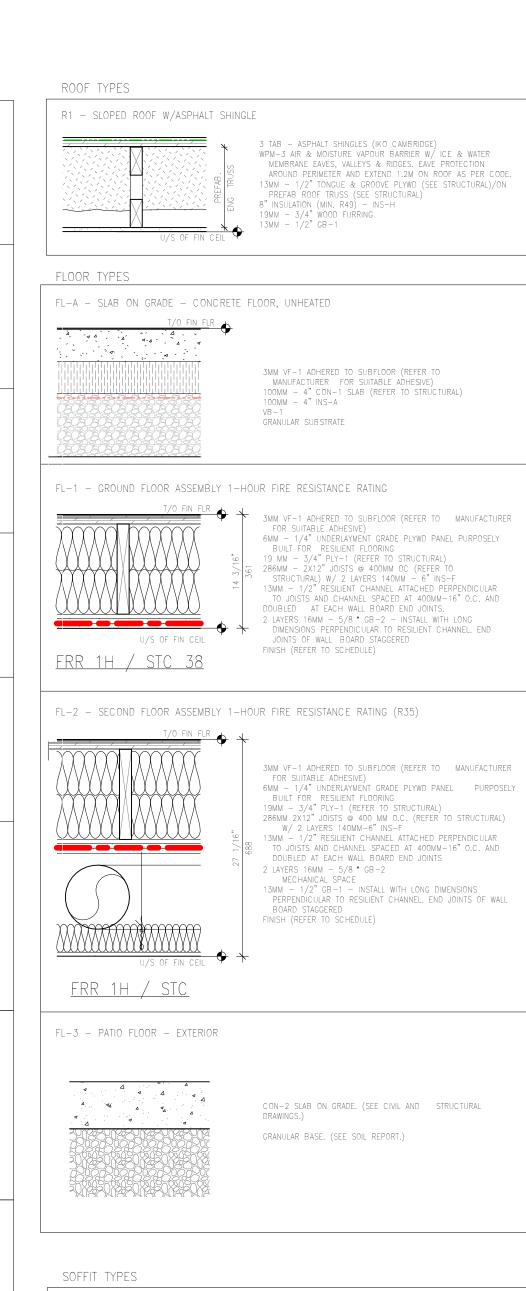
FW2X - GWB PARTITION, 2x6 WD. STUDS - FRR 45MIN

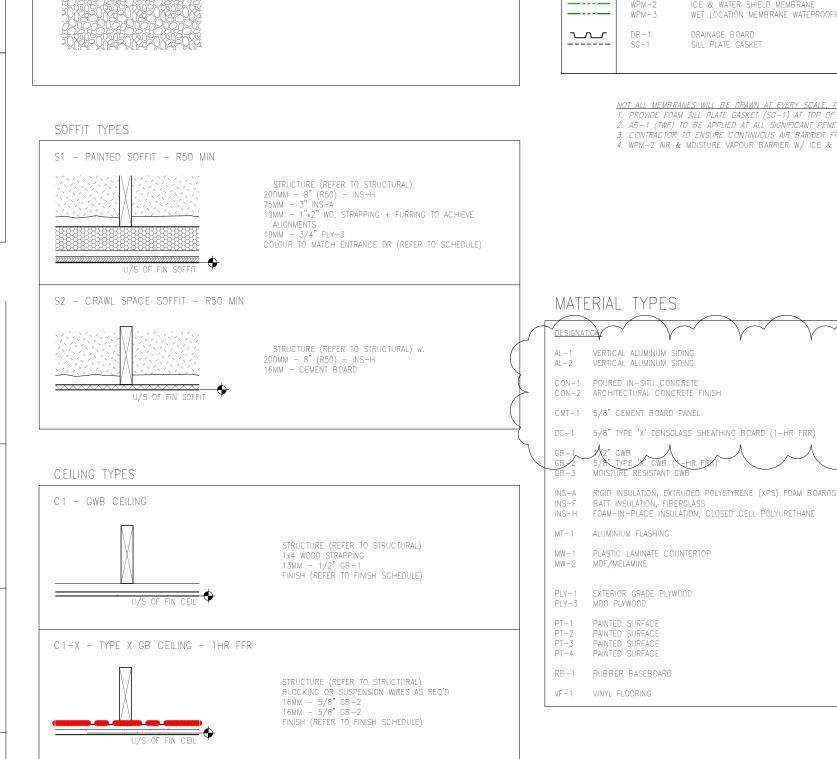
140MM - 2x6 WD. FRAMING @ 400 O.C. MAX

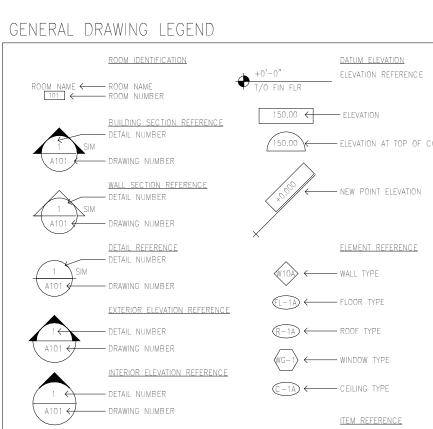
13MM - 1/2" GB-1 FINISH (REFER TO FINISH SCHEDULE)

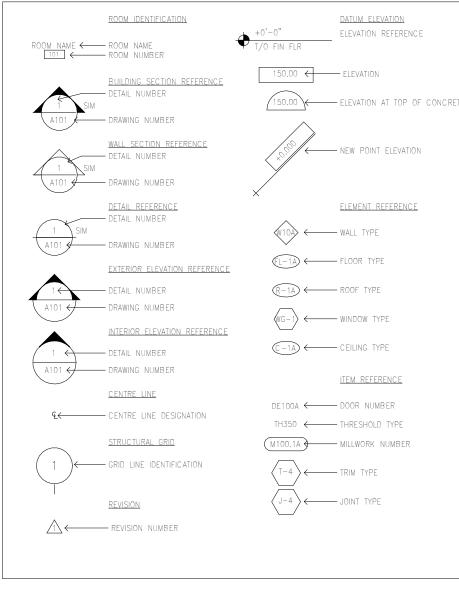
FW3 - GWB PARTITION, 2x6 WD. STUDS

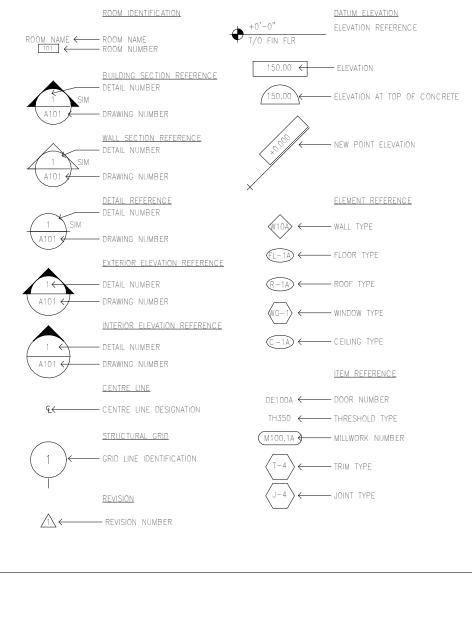


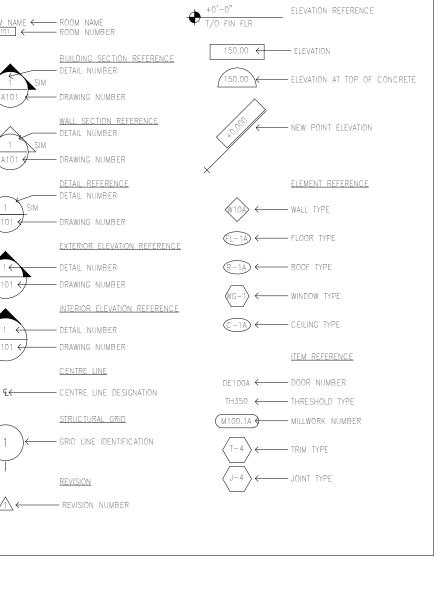












CONCRETE BLOCK

STONE

ROUGH WOOD

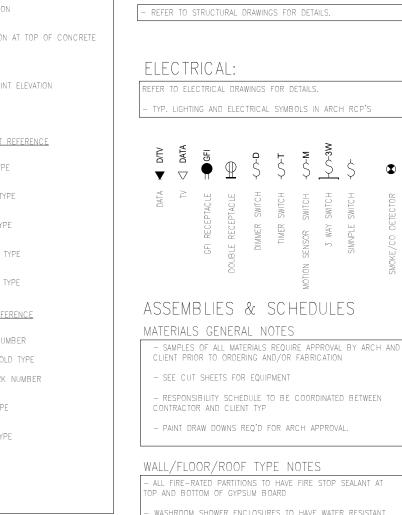
WOOD BLOCKING

GYPSUM BOARD

SOLID WOOD

WOOD PANEL

PLYW00D



ISCREPANCIES.

WINDOWS AND DOORS

PPROVED BY ARCH PRIOR TO ORDERING

ENS SHIELD GYPSUM BOARD BY G-P GYPSUM. ALL OTHER

ITH STRUCTURAL DRAWINGS. NOTIFY ARCH. OF ANY

WASHROOM WALLS NAD WALLS BEHIND COUNTERS TO BE MOISTURE RESISTANT GYPSUM BOARD TYPE.

- VERIFY DIMENSION OF ALL STRUCTURAL WALLS/FLOORS/ROOFS

1 COAT PRIMER, 2 COATS FINISH REQ'D FOR INT & EXT

– HARDWARE AND OPERATING HANDLES, SEE SPECIFICATION PAGE ALTERNATIVES TO BE APPROVED BY ARCH PRIOR TO ORDERING.

- DOOR AND DOOR HARDWARE SHOP DWGS REQ'D TO BE

MECHANICAL:

STRUCTURAL:

REFER TO MECHANICAL DRAWINGS FOR DETAILS.



MILLWORK

MATERIALS GENERAL NOTES

PECIFICATIONS, TO BE SUPPLIED BY ARCH

MOCKUPS TO BE ACCOUNTED FOR WHERE THERE IS

COMPLEXITY, EXTENSIVE COORDINATION ON SITE AND BETWEEN OTHER TRADES IS REQUIRED. SCOPE OF MOCKUPS TO BE OUTLINED BY ARCH ON BUDGET/IFC DRAWINGS. EXACT SCOPE AND

COORDINATION TO BE DISCUSSED WITH ARCH, CONTRACTOR,

- RENDERINGS ARE FOR REFERENCE ONLY. PLEASE CONSULT - CONTRACTOR TO REVIEW ALL DISCIPLINES' DWGS @ TIME OF DRAWING REVIEW AND FLAG ANY DISCREPANCIES THAT REQUIRE FURTHER COORDINATION VIA FORMAL RFI

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> > regarding the intent of the Contract Documents.

Position of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on Architectural drawings. Locations shown on Architectural drawings shall govern over Mechanical and Electrical drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect. Dimensions indicated are taken between faces of finished surfaces except as otherwise noted.

before commencing work. Upon written application, the Architect will provide written/graphic clarification or supplementary information

All work to be done in accordance with all provincial and local codes and agencies having jurisdiction. Work not indicated but inferable to complete work is understood to be included.

16	ISSUED FOR TENDER ADDENDUM	25 MAR
13	ISSUED FOR TENDER	23 MAY
11	BUILDING PERMIT	22 OCT
10	BUIDLING CODE REVIEW	22 SEP
8	BP COORDINATION SET	22 JUL
6	BUILDING PERMIT SET DRAFT 1	22 APR
No.	Description	Date

THERMAL & MOISTURE CONTROL LEGEND

MATERIAL GRAPHICS LEGEND

BRICK

STEEL

ALUMINUM

RIGID INSULATION

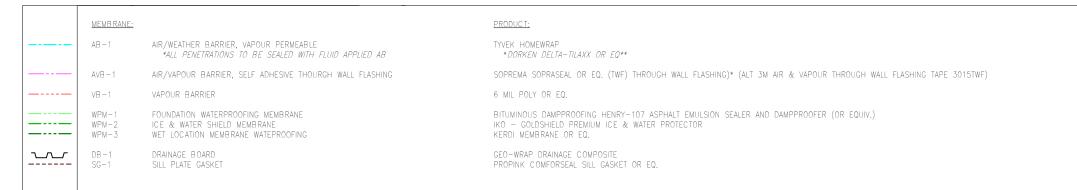
BATT INSULATION

CONCRETE

SPRAYFOAM INSULATION

SEMI-RIGID INSULATION

MINERAL FIBRE RIGID INSULATION



RIALUX, TIMBERLAND SERIES // BIRCH

ALUMINUM FLASHING PAINTED TO SPEC

ROPPE, PINNACLE, 4", COLOUR TBC

MELAMINE (SEE INTERIOR FINISH SCHEDULE).

AS PER STRUCTURAL SPECS.

RIALUX, TIMBERLAND SERIES // GREY OAK

TREMCO DRYVIT OR EQ. // COLOR & FINISH TBD

GEORGIA-PACIRIC DENSGLASS SHEATHING OR EQ.

SOPREMA, SOPRA-XPS-20 RIGID FOAM BOARD OR EQ.

DULUX, SEMI-GLOSS LIFE MASTER, TORNADO DLX1009-2

DULUX, SEMI-GLOSS LIFE MASTER, BELICATE WHITE DLX1001-1
DULUX, SEMI-GLOSS LIFE MASTER, BILLIARD GREEN DLX1139-7

DULUX, SEMI-GLOSS LIFE MASTER, PHOENIZ FOSSIL DLX1009-5

OWENS CORNING, ECOTOUCH PINK BATT INSULATION OR EQ. SOPREMA, SOPRA-SPF-202, FOAM-IN-PLACE CLOSED CELL INSULATION

1GS EXTERIOR GRADE MEDIUM DENSITY OVERLAY PLYWOOD, PRIMED AND PAINTED TO SPEC.

AMERICAN BILTRITE FLOORING, LEAF LUXURY VINYL FLOORING, URBAN OAK, NATURAL BEIGE

PLASTIC LAMINATE MDF W/ THERMOFOIL SURFACES & EDGES; MELAMINE W/ THERMOFOIL EXPOSED SURFACES & PVC EDGE TAPE; MELAMINE W/ PVC EDGE TAPE;

NOT ALL MEMBRANES WILL BE DRAWN AT EVERY SCALE, PLEASE REFER TO SPECIFICATION, AND CONFIRM WITH ARCHITECT WHEN UNCLEAR.

1. PROVIDE FOAM SILL PLATE GASKET (SG-1) AT TOP OF FOUNDATION WALL, BENEATH STUD WALL, TYP., U.N.O.

2. AB-1 (TWF) TO BE APPLIED AT ALL SIGNIFICANT PENETRATIONS (BOLTS, HSS PENETRATIONS ETC.) AS WELL AS AT LAPPED FLASHING CORNERS.

3. CONTRACTOR TO ENSURE CONTINUOUS AIR BARRIER FROM WALL ASSEMBLY TO WINDOW. LEAVE 6-12" OF AIR CONTROL LAYER LOOSE FOR LAPPED CONNECTION BETWEEN WALL AND WINDOW BARRIER UPON WINDOW INSTALLATION.

4. WPM-2 AIR & MOISTURE VAPOUR BARRIER W/ ICE & WATER MEMBRANE EAVES, VALLEYS & RIDGES. EAVE PROTECTION AROUND PERIMETER AND EXTEND 1.2M ON ROOF AS PER CODE. 179. U.N.O.



Project Name:

Project Team:

GULL RIVER HOUSING AFFORDABLE HOUSING

STANDARD ASSEMBLY TYPES

Project No.: Drawn by:

As indicated 25 FEB 21



Williamson Williamson Inc.

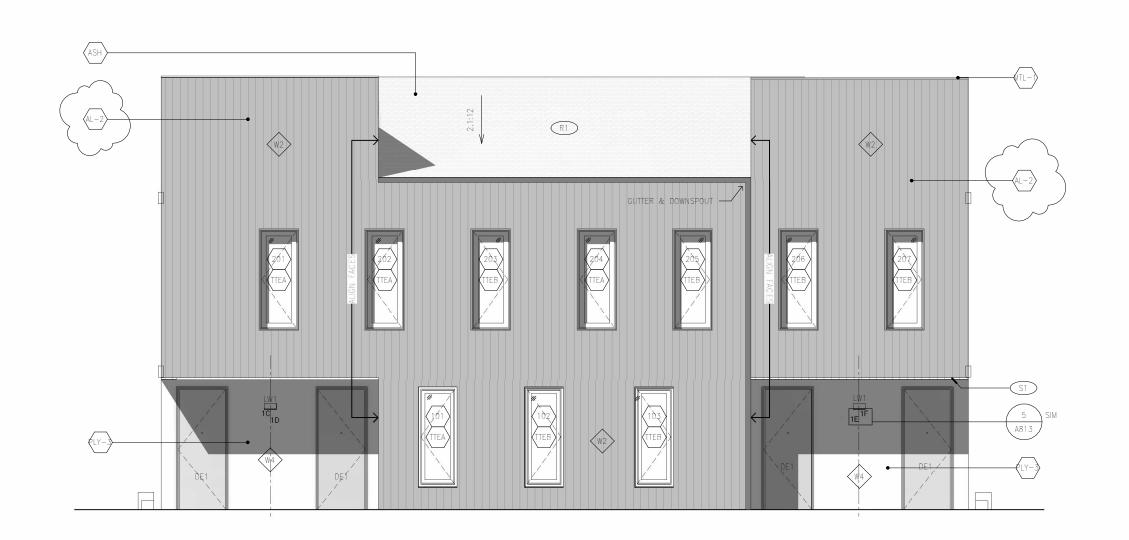
235 Carlaw Avenue, Suite 400

(416) 703-9271 www.wwinc.ca

Terente, ●N M4M2S1

#35 MINDEN HILLS, ONTARIO

Drawing No.:

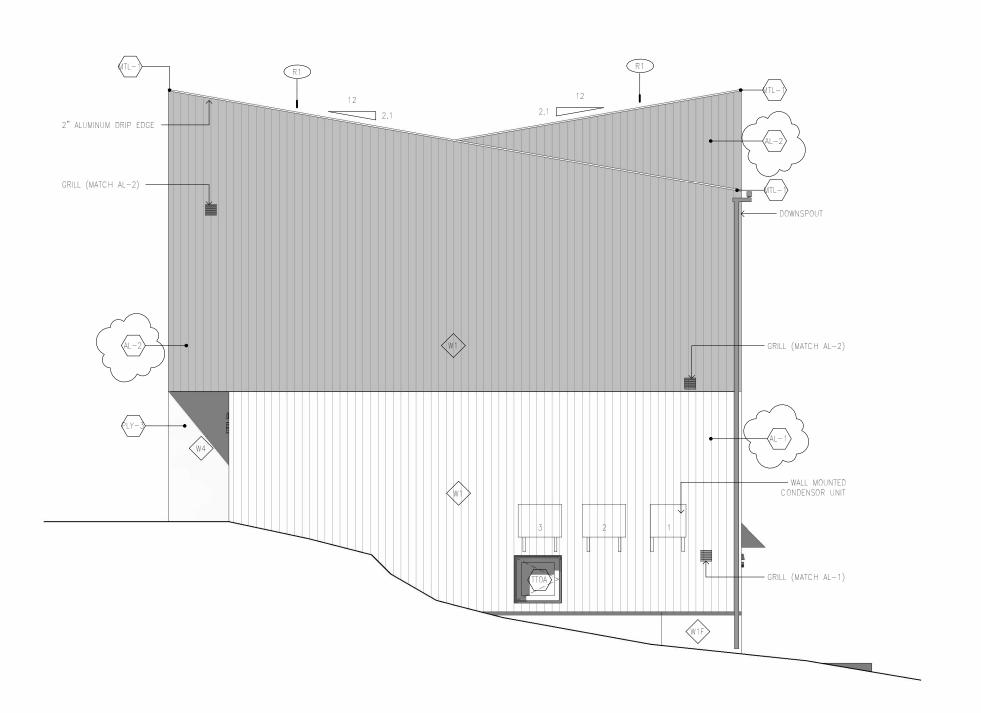


BUILDNG TYP A - East

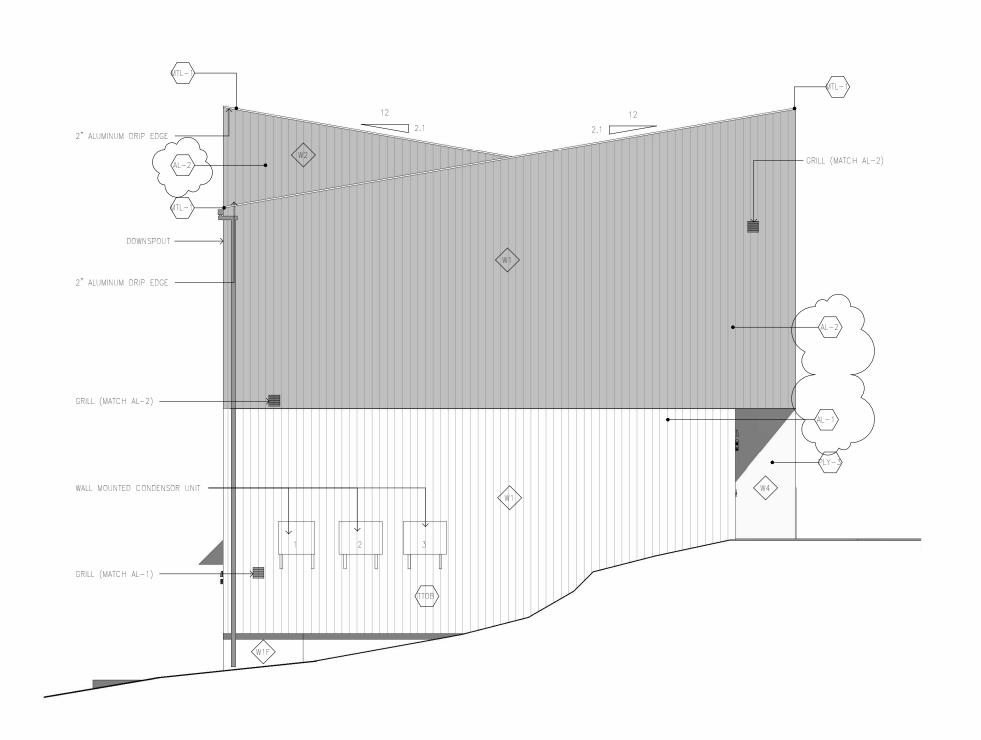
1 : 75



BUILDNG TYP A - West



BUILDNG TYP A - North



3 BUILDNG TYP A - South
1:75



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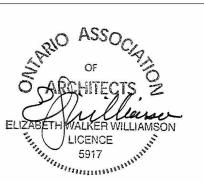
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12	SPA #3.1	22 DEC
9	SPA #2	22 AUG
7	SPA COORDINATION SET	22 JUN
5	SPA	22 FEB
4	SPA DRAFT 4	21 OCT
3	SPA DRAFT 3	21 JUL
2	SPA DRAFT 2	21 JUN
1	SPA DRAFT 1	21 MAY
No.	Description	Date

Project Team:

Williams●n Williams●n Inc.

235 Carlaw Avenue, Suite **400** Terente, ●N M4M 2S1 (416) 703-9271 *www.wwinc.ca*



Project Name:

GULL RIVER HOUSING
AFFORDABLE HOUSING
#35 MINDEN HILLS, ONTARIO

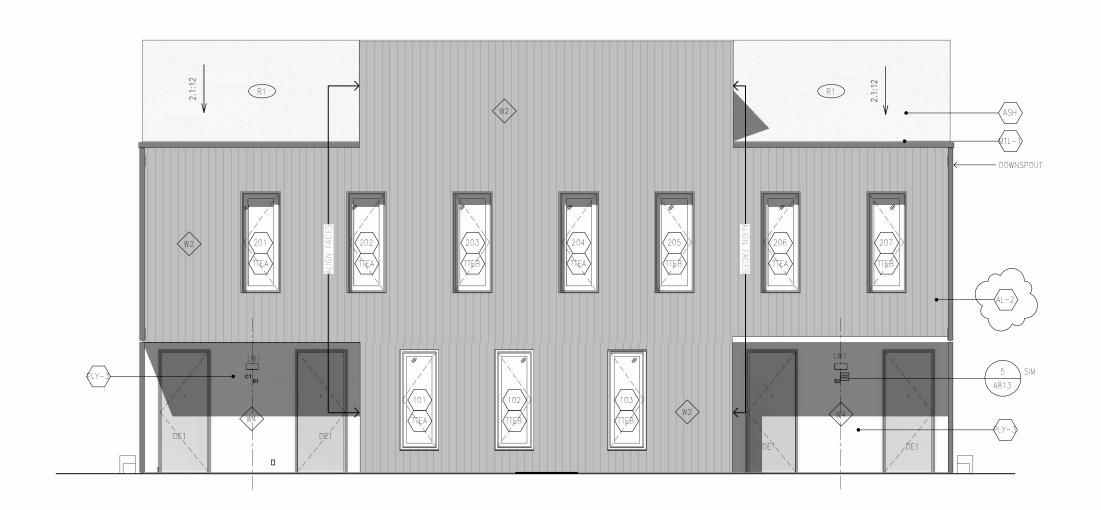
TYP. ELEVATIONS BUILDINGS 1-3-5

Project No.: Scale: 1 Drawn by: Date:

2010 1 : 75 JH 25 FEB 21

Drawing No.:

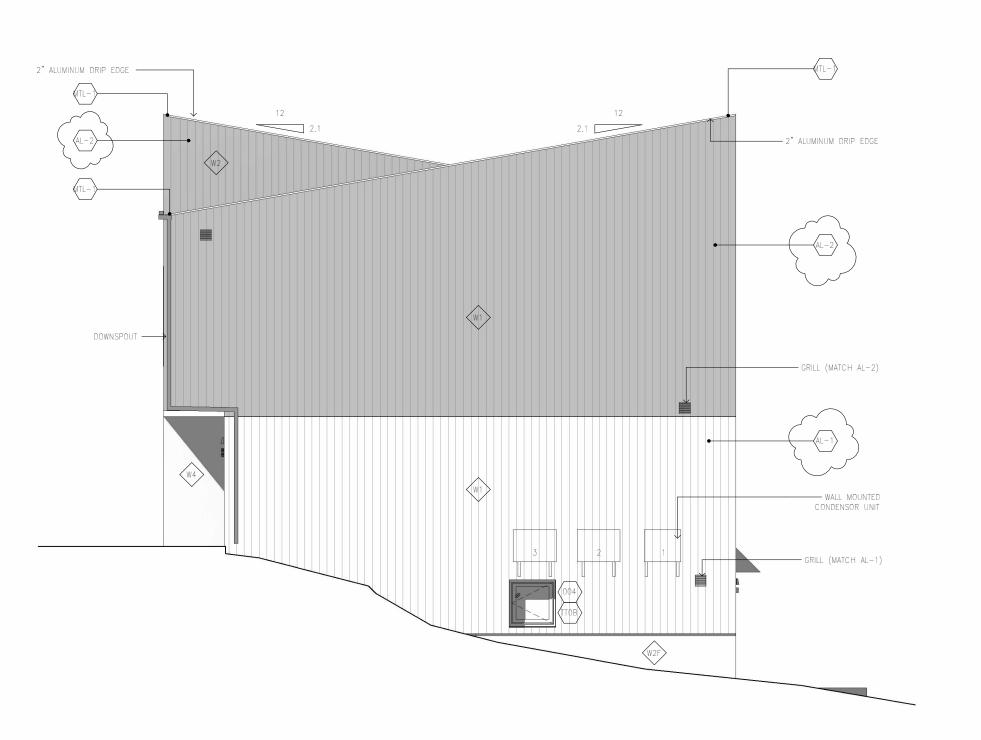
A301



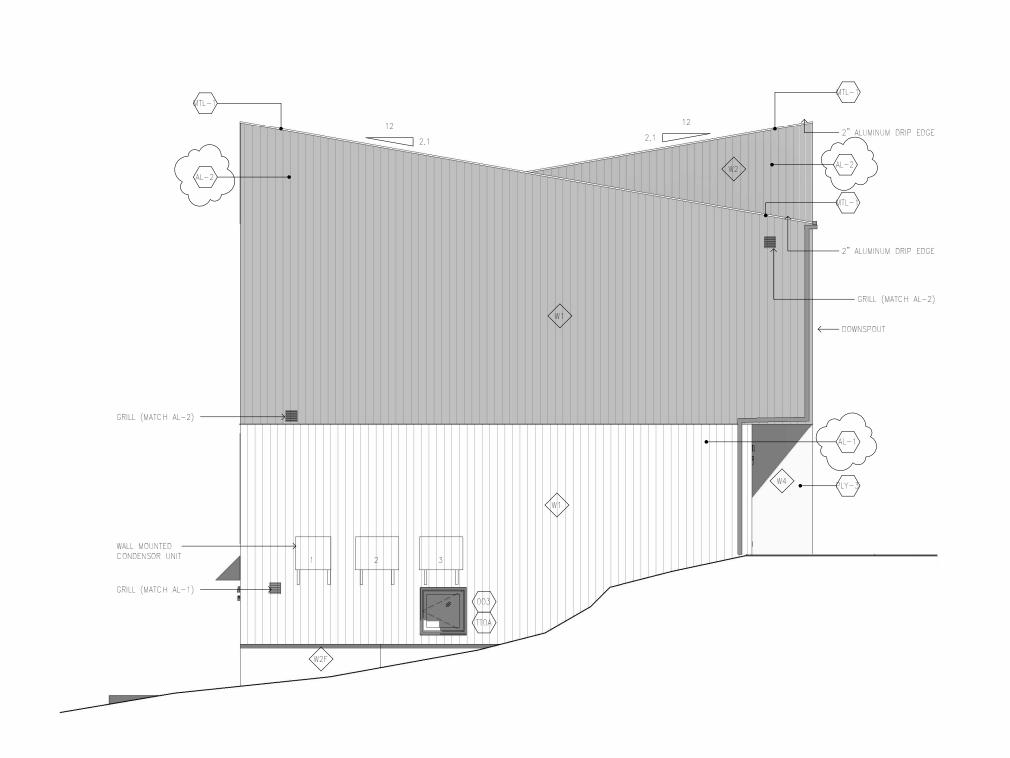
BUILDNG TYP B - Eas



BUILDNG TYP B - West



BUILDNG TYP B - North



BUILDNG TYP B - South



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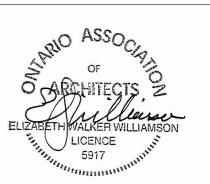
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#35 MINDEN HILLS, ONTARIO

TYP. ELEVATIONS BUILDINGS 2-4-6

Project No.: Scale: Drawn by: Date:

2010 1 : 75 JH 25 FEB 21

Drawing No.:

A302